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**Kuna's land use will support a desirable, distinct and well-designed community**

# Goal Area 3: Kuna’s land uses will support a desirable, distinctive and well-designed community.

## Land Use and Community Design: Planning Principles

Community design and character encompasses the principles by which the City manages land uses and regulates new and existing development. Community character and design seek to make the City a desirable place to live, work, and play, while simultaneously providing opportunities for present and future economic development, room for growth and preservation of land resources. Community design and character planning includes:

- Encouraging a sustainable land use pattern and sensible mix of commercial, agricultural, industrial, public facilities and residential development that meets community demands.
- Providing a variety of housing options and strengthening neighborhoods.
- Maintaining and enhancing special places that are treasured within the community and reflect Kuna’s values and culture.
- Protecting private property rights.

The goals and policies described in this chapter serve as the basis for how community design and character are encouraged and perpetuated in Kuna.

This section also contains descriptions of land use categories identified on the Future Land Use Map (FLUM), with examples of the types of uses generally intended in each category. The land use designations on the FLUM are correlated to existing City of Kuna zoning categories, for ease of cross-reference.

## Land Use and Community Design AT-A-GLANCE:

<i>Sustainable Land Use</i>	<i>Areas of Interest</i>	<i>Commercial Areas</i>	<i>Housing Options</i>	<i>Industrial Areas</i>	<i>Hazardous Areas</i>	<i>Private Property Rights</i>
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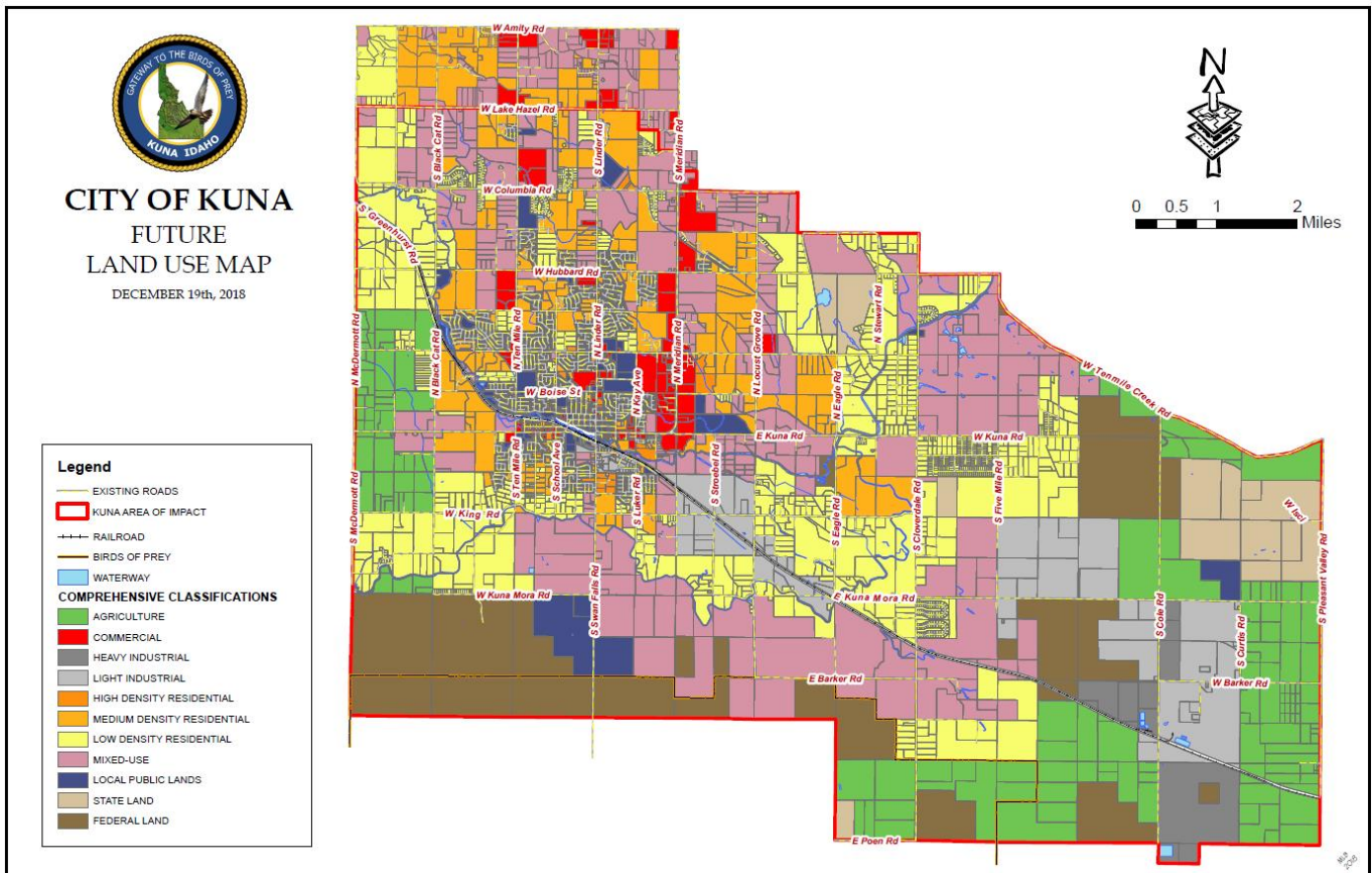
## Goal 3.A. Community design should direct growth and implement sustainable land use patterns.

Community design is concerned with the appearance, function, and compatibility of land uses within a community. Successful community design recognizes the importance of shaping and managing the built environment in a way that compliments the topography and natural features of the area, preserves existing land uses and creates inviting places. Good community design also meets the needs of the community in terms of commercial, housing, recreation, employment demands and contributes to a tax base that is in line with the demand for public infrastructure and services. Community design should reflect what the community values about Kuna and strengthen Kuna’s unique sense of place.

### Future Land Use Map

In this Comprehensive Plan, the City intentionally streamlined its land use category designations to more easily communicate the intent of the Future Land Use Map, create more flexibility for development, and simplify correlation with the City’s zoning structure. A full scale and detailed version of the FLUM can be found in Appendix A.

Figure 5: City of Kuna Future Land Use Map



A full-scale version of the FLUM can be found in Appendix A.



The following tables compares the 2015 Future Land Use categories with the updated version in this plan.

**Figure 6: 2015 Land Use Categories and Proposed Future Land Use Categories**

2015 Future Land Use Map	Current 2019 Future Land Use Map
Agriculture	Agriculture
Commercial (Community Neighborhood)	Commercial
Community Center	-
Light Industrial	Industrial
Heavy Industrial	Heavy Industrial
High Density Residential	High Density Residential
Medium Density Residential	Medium Density Residential
Low Density Residential	Low Density Residential
Mixed Use – City Center	Mixed-Use
Mixed Use – General	
Neighborhood Center	Neighborhood Commercial
Neighborhood District	Commercial
Professional Office	Commercial
Public	Public
Rural Cluster	Agriculture

 **Objective 3.A.1. Use the Future Land Use Map and land use regulations to direct development, encourage complementary and compatible land uses, and to achieve good community design.**

**Policies:**

**3.A.1.a.** Concentrate a mix of medium-to-high density residential, commercial and mixed-use areas in Kuna’s core.<sup>xxi</sup>

**3.A.1.b.** Concentrate commercial and mixed-use areas along main entryway corridors, and reserve areas for low-density residential development, open space, industrial and agricultural uses at Kuna’s outer areas and along the rail line.

**3.A.1.c.** Define “mixed-use” designations in Kuna’s adopted zoning code to encourage a mix of uses at several scales – within zones, on individual and adjacent parcels, and within single structures – that encourage complementary residential, commercial and industrial activities to achieve true mixed uses.

**3.A.1.d.** Use design standards such as facades, streetscaping, building orientation, setbacks, buffers and parking requirements to encourage pedestrian-friendly environments and improve connectivity.

**3.A.1.e.** Identify and implement mechanisms to preserve and encourage agricultural land uses at small and large scales in both urban/suburban and create policy that supports agricultural activities.

**3.A.1.f.** Create specific overlay district zoning ordinances along designated commercial corridors; in particular, Meridian Road/Highway 69 (review and update existing ordinance), Ten Mile Road, Linder Road, Cloverdale Road and Kuna Road (new ordinances needed) to influence compatible and improved design, as well as regulate access, parking, setbacks, densities and other corridor characteristics (see also Goal Area 4).

How do communities integrate with urban agriculture?	
<p><b><i>Within urban and suburban areas (in city limits), encouraging:</i></b></p>	<ul style="list-style-type: none"> <li>• livestock such as chickens, pigs or bees</li> <li>• access to vacant land for gardening (e.g., community gardens or plots)</li> <li>• school gardens or teaching gardens</li> <li>• availability of irrigation infrastructure</li> <li>• rooftop gardens</li> <li>• farmers markets, produce stands and seasonal markets</li> <li>• nurseries and commercial farms under a certain size</li> <li>• agri-tainment and agritourism-based businesses</li> </ul>
<p><b><i>Within rural areas and on agricultural lands, allowing and encouraging:</i></b></p>	<ul style="list-style-type: none"> <li>• retention of available land for commercial farms, dairies and aquiculture in contiguous blocks</li> <li>• formation of agricultural or preservation land trusts and community land trusts</li> <li>• restricting urban services from agricultural lands</li> <li>• taxation benefits for agricultural lands and activities</li> <li>• Farm to market access and events</li> <li>• agricultural overlays</li> </ul>

**Objective 3.A.2. Encourage development in priority areas.**

**Policies:**

**3.A.2.a.** Promote development and concentrate mix land uses to create and support strong commercial activity centers.

**3.A.2.b.** Encourage infill development to maximize the use of developable land, minimize infrastructure costs and preserve agricultural and open spaces.

**3.A.2.c.** Utilize design standards to encourage infill that preserves valued characteristics of surrounding area and promotes compatible uses.

**3.A.2.d.** Regularly inventory developable and/or re-developable lands within non-agricultural/non-open space designated areas to assess infill opportunities.

Priority Areas		
<p><b>Areas identified in the comprehensive plan to be developed to support strong community activity and commercial centers.</b></p>	<ul style="list-style-type: none"> <li>• Downtown</li> <li>• Entryway Corridors               <ul style="list-style-type: none"> <li>○ Meridian Road/Highway 69</li> <li>○ Ten Mile Road</li> <li>○ Linder Road</li> <li>○ Kuna-Mora Road</li> <li>○ Kuna Road</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>• Swan Falls Road</li> <li>• Rail line</li> <li>• Indian Creek</li> </ul>

**Goal 3.B Kuna will preserve and enhance areas of interest within the community.**

Special places help define Kuna’s character and promote community vibrancy and activity. Many of these places offer opportunities to engage with friends, family and the larger community, and strengthen important social connections. The City of Kuna strives to enhance special areas in Kuna that are already serving this role in the community and seek opportunities to create new locations as growth occurs. Special places include activity centers and gathering locations, natural features, and places of historical or cultural significance.

Goal 3.B Focuses mainly on Kuna’s “activity centers and gathering spaces;” objectives and policies related to “cultural assets” can be found in Goal Area 5 (Educated and Cultured), and “natural resources” are addressed in Goal Area 2 (Health).





## **Objective 3.B.1. Ensure Kuna’s Downtown is distinct, vibrant, and walkable.**

### ***Policies:***

**3.B.1.a.** Continue to follow and implement the 2016 *Kuna Downtown Revitalization Plan* and 2012 *Kuna Downtown Corridor Plan*.

**3.B.1.b.** Establish a Downtown “welcome” theme, particularly along designated entryway streets into Downtown.

**3.B.1.c.** Highlight areas of cultural and social significance within Downtown.

**3.B.1.d.** Expand Downtown boundaries to include the residential area north of W 4<sup>th</sup> Street, and South of W Shortline Street. See downtown boundaries map in Appendix A.

**3.B.1.e.** When possible, connect other activity centers and recreational opportunities to Downtown through additional pedestrian and bicycle connectivity and through wayfinding signage. (see *also Goal Area 4*)

**3.B.1.f.** Integrate mixed use/light industrial/commercial development around the edge of downtown and along Indian Creek to create opportunities for a brewery/dining/retail district that serve as community gathering locations and draw visitation to Downtown.

**3.B.1.g.** Review zoning ordinances to ensure encouragement of continuous Downtown Revitalization for existing and future improvements and developments.

**3.B.1.h.** Continue to promote City-sponsored activities in Downtown Kuna and ensure City policies encourage activities by Downtown businesses and organizations (parades, festivals, entertainment activities, markets, concerts, etc.).



## Kuna's Areas of Interest

<b>Activity Centers and Gathering Spaces</b>	<ul style="list-style-type: none"> <li>• 4th Street Gym</li> <li>• Downtown</li> <li>• Kuna Event Center</li> <li>• Senior Center</li> <li>• School Facilities</li> <li>• Wineries (Indian Creek Winery, Sandstone Vineyards, Vizcaya Winery)</li> </ul>
<b>Cultural Assets</b>	<ul style="list-style-type: none"> <li>• Kuna Grange Hall</li> <li>• Kuna Library</li> <li>• Kuna Performing Arts Center</li> <li>• Kuna Visitor Center</li> <li>• Pioneer Cemetery</li> <li>• Silver Trail</li> <li>• Swan Falls Dam</li> <li>• Western Heritage Historic Byway</li> </ul>
<b>Natural Resources</b>	<ul style="list-style-type: none"> <li>• Arbor Ridge Park</li> <li>• Bernie Fisher Park</li> <li>• Butler Park</li> <li>• Chapparosa Park</li> <li>• Crimson Point Park</li> <li>• Dedication Point</li> <li>• Farm Estates</li> <li>• Hubbard Reservoir</li> <li>• Indian Creek Greenbelt</li> <li>• Initial Pointe</li> <li>• Kuna Butte</li> <li>• Kuna Caves</li> <li>• Morley Nelson Snake River Birds of Prey National Conservation Area</li> <li>• Nicholson Park</li> <li>• Sadie Creek Park (Dog Park)</li> <li>• Swan Falls Dam</li> <li>• Winchester Park</li> </ul>

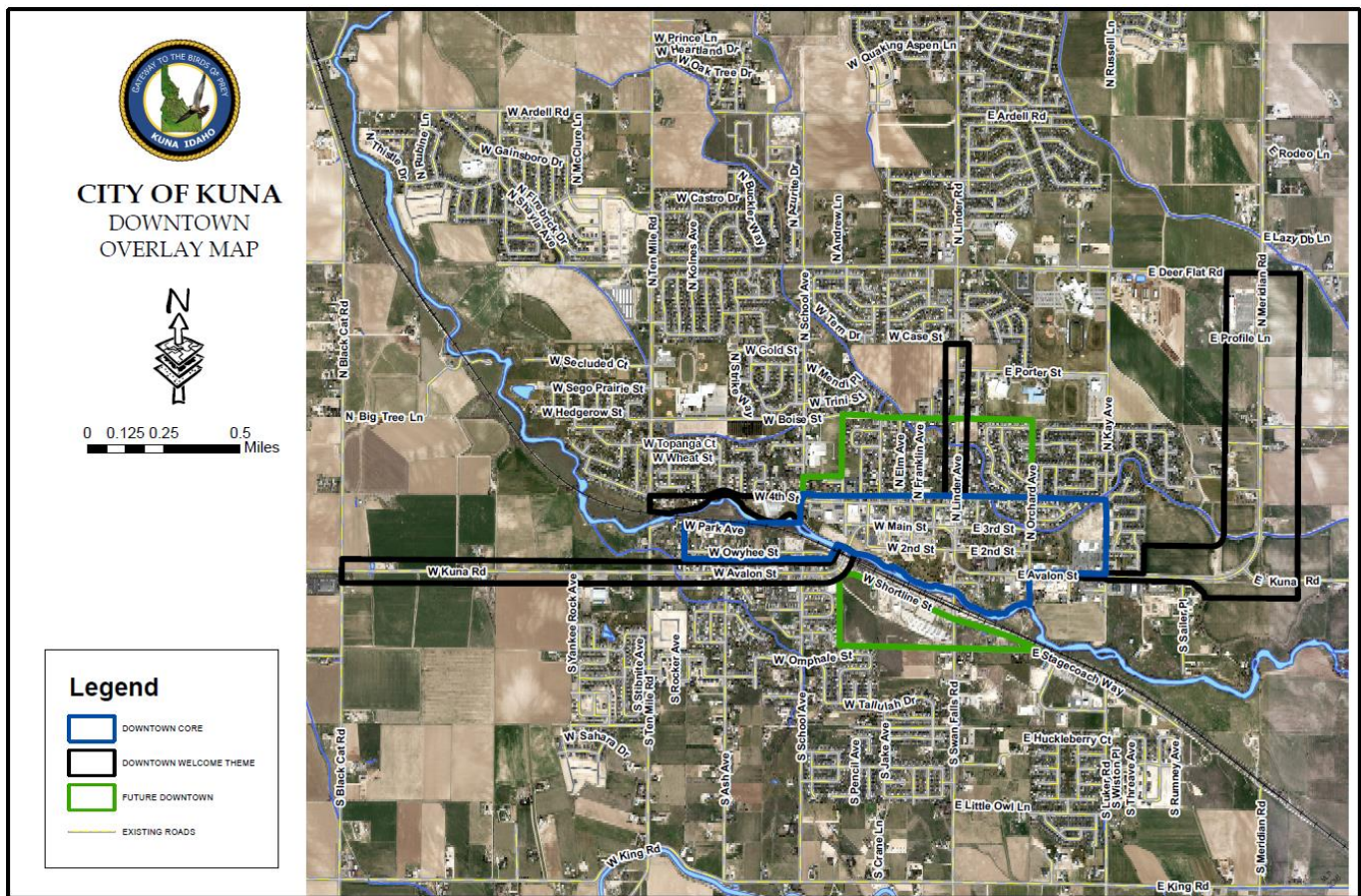


## Kuna Downtown

To facilitate the community’s vision, three areas have been identified on the “Downtown Overlay Map” see appendix A for a full-scale version of the map. Each area (described in the table below) has its own distinct contribution to the vitality of the vibrancy and of Downtown Kuna. Efforts should be made to promote connectivity to the Indian Creek Greenbelt in all of these areas.

Downtown Areas	
<b>Downtown Core</b>	<p>The purpose of the Downtown Core area is to preserve the character and enhance the Historic Downtown District. Within the Downtown Core area, streetscape improvements would include elements consistent with the Kuna Main Street project, such as decorative street lighting, wider sidewalks, visual appeal, stamped and colored concrete, public art, bike racks, benches, new buildings, building renovations, roadway work, sidewalks, etc.</p> <p>The Downtown Core should embrace the history of Kuna, whenever possible, and include pedestrian and bicycle-accessible facilities to promote non-motorized transportation in downtown Kuna. Additional design elements to be incorporated include building orientation, mixed uses, upgraded façades, driveways, etc. conducive to the downtown feel (i.e. alley loaded parking, buildings up to the sidewalk, etc.). Efforts should be made to promote connectivity to the Indian Creek Greenbelt.</p>
<b>Downtown Welcome Theme</b>	<p>The purpose of the Downtown Welcome Theme is to provide visual reference to the traveling public along the main entrances into downtown Kuna. Within the Downtown Welcome Theme area, streetscape improvements would include elements consistent with the Main Street project, such as decorative street lighting, wider sidewalks, visual appeal, stamped and colored concrete, public art, bike racks, benches, etc. “Welcome to Downtown Kuna” (or similar verbiage) signage with artistic elements should be incorporated where appropriate.</p>
<b>Future Downtown</b>	<p>The purpose of the Future Downtown area is to preserve areas adjacent to the Downtown Core for possible inclusion in the Downtown Core as Kuna grows. This area should promote and be compatible with downtown Kuna through site improvements, frontage improvements, uses, etc. Mixed residential and commercial uses are strongly encouraged in this area.</p>

Figure 7: Downtown Areas Map



A full-scale map of Kuna’s downtown areas can be found in Appendix A.

**Objective 3.B.2. Actively engage in placemaking activities that enhance Kuna’s culture and character.**

**Policies:**

**3.B.2.a.** Develop city-wide branding elements which could include logos, signage, public art or other similar features. Integrate the brand into wayfinding and interpretive signage programs.

**3.B.2.b.** Activate underutilized spaces – such as parking lots or low-traffic areas Downtown – within the community through events and temporary uses and installations. Identify targeted places in Kuna where development is desired and support pop-ups to test and call attention to the potential of these spaces.

**3.B.2.c.** Seek opportunities for assistance and funding in placemaking efforts, such as the Main Street Program.

**3.B.2.d.** Encourage landscaping and beautification efforts throughout the community particularly along major corridors and in mixed-use activity centers.

**3.B.2.e.** Where appropriate, utilize historical protection designations to preserve historic structures and locations of cultural and historical significance that contribute to the broader character of Kuna.

## Goal 3.C Encourage development of commercial areas with good connectivity and character.

Mixed-use areas accommodate a variety of uses at several scales within mixed-use zones, on individual parcels and within single structures including retail, residential, commercial and in some cases, light industrial uses. These areas should be complemented by access to sufficient transportation options and intentionally designed to create activity centers where residents and visitors can live, work and play.

### ➔ Objective 3.C.1. Create well-planned regional commercial centers that provide employment and services.

#### *Policies:*

**3.C.1.a.** Concentrate regional commercial centers in proximity to entryway corridors for good visibility and access. Whenever possible, ensure access to commercial center is from mid-mile collectors to prevent added congestion on entryway corridors. Use overlays to control access

**3.C.1.b.** Use overlays to regulate regional commercial center design to ensure attractiveness and consistency of form and identify, desired locations for parking, delivery access and related site design considerations.

**3.C.1.c.** Support commercial centers with high- and medium-density residential and mixed-use designations in surrounding areas, while providing transitions and buffers between commercial and residential development. Require integration of bike and pedestrian access to commercial centers from nearby neighborhoods.

**3.C.1.d.** Ensure that commercial centers have multi-modal transportation access.

**3.C.1.e.** Work to attract a mix of regional and small-business employers to commercial centers.





## ➔ **Objective 3.C.2. Create neighborhood-serving mixed-use centers that incorporate commercial activities.**

### *Policies:*

**3.C.2.a.** Neighborhood-serving mixed-use centers integrate uses both vertically and horizontally.<sup>xxii</sup>

**3.C.2.b.** Placemaking principles are used in neighborhood-serving mixed-use center design.

**3.C.2.c.** Integrate light industrial and commercial into mixed-use areas and activity centers where appropriate to create a mix of available services that match the intended development goals of the area.

### Mixed-Use Development Overview

Land parcel or combination of parcels that contain at least two types of complimentary and integrated uses, e.g., residential, commercial or office uses (with an emphasis on residential components) intentionally clustered with recreation/public spaces and other public service uses. Some industrial uses such as breweries or light manufacturing are compatible.

Mixed-use areas can be developed in two ways:

**Horizontal Mixed-Use** consists of single-use buildings within a mixed-use zone/parcel

**Vertical Mixed-Use** combines uses within the same building, e.g., ground floor retail and restaurants and upper floors residential and office

## ➔ **Objective 3.C.3. Develop activity centers along Indian Creek Greenbelt in designated areas.**

### *Policies:*

**3.C.3.a.** Concentrate appropriate uses and development in designated Indian Creek Greenbelt activity centers. (See Appendix A for Indian Creek Activity Centers Map.)

**3.C.3.b.** Encourage intensive recreational and retail use along activity centers near Indian Creek.

**3.C.3.c.** Acknowledge that strong activity centers along the Indian Creek Greenbelt will come in a variety of shapes and sizes. Work with developers to ensure appropriated uses can be accommodated in the overlay zone.





## Goal 3.D Encourage development of housing options and strong neighborhoods.

### ➔ Objective 3.D.1. Encourage development of housing options for all citizens.

#### *Policies:*

**3.D.1.a.** Encourage preservation and development of housing that meets demand for all household sizes, lifestyles and settings, including urban, suburban, semi-rural and rural housing options.

**3.D.1.b.** Encourage scale and location of housing that provides opportunities for Kuna’s older citizens to age-in-place, with walkable neighborhoods served by transit and easy access to food stores, health and assisted living services and community amenities such as parks and libraries.

**3.D.1.c.** Encourage preservation and development of housing that meets demand for all economic segments, including rental and owner-occupied options for households earning less than 120% area medium income<sup>xxiii</sup>.

**3.D.1.d.** Provide incentives to encourage desired types of housing such as density bonuses, expedited application processes and parking reductions.

**3.D.1.e.** Work with housing developers and partners to develop projects that include below-market-rate housing, including utilizing financing opportunities such as the federal Low-Income Housing Tax Credit (LIHTC) program administered by Idaho Housing and Finance Association (IHFA).

**3.D.1.f.** Regularly evaluate the housing demand and supply and adjust policies and regulations, as needed, to encourage development of needed housing types and densities to accommodate Kuna’s economic groups, lifestyles and ages.

**3.D.1.g.** Work with community partners to ensure needed housing services are provided in the community, including homelessness prevention and rapid re-housing services.





## **Objective 3.D.2. Create strong neighborhoods through preservation, new development, connectivity and programming.**

### ***Policies:***

**3.D.2.a.** Maintain small block pattern with sidewalks and streetscaping in Downtown to sustain and support development of walkable neighborhoods.

**3.D.2.b.** In urban and suburban residential areas, encourage development of neighborhood-serving mixed-use and commercial activity centers that allow residents to play, shop, eat and interact with neighbors without leaving their neighborhood. Utilize mechanisms such as planned unit developments, subdivision ordinances, development agreements, payment and use of impact fees for needed infrastructure and amenities or other regulatory means or incentives to achieve this result.

**3.D.2.c.** Ensure that Kuna’s land use and zoning designations allow for and encourage “traditional neighborhood development”<sup>xxiv</sup> in mixed-used areas.

**3.D.2.d.** Work to ensure that all neighborhoods in Kuna benefit from good connectivity through sidewalk, pathway and trail, on-street and transit infrastructure. (see also Goal Area 4 “Connected”)

**3.D.2.d.** Develop tools that allow and encourage neighborhoods to invest in placemaking and character-building such as historic preservation or character conservation districts, neighborhood investment funding for small projects, and requiring developers to include neighborhood amenities such as public space, landscaping and art with new development.

**3.D.2.e.** Ensure that neighborhood-level programming (e.g., festivals, block parties, parade of homes, etc.) is encouraged through City-sponsored neighborhood events and programming. To the extent possible, ensure that the permitting and application processes for neighborhood events in City-owned spaces is easy for residents and provide information about other agency and partner processes and resources (e.g., street closure requests through Ada County Highway District).

**3.D.2.f.** As neighborhoods in Kuna grow in size and develop distinct character, consider creating and implementing neighborhood sub-area plans.

### **Traditional Neighborhood Development Overview**

Traditional Neighborhood Development (TND) is also known as village-style development and includes a variety of housing types, land uses and features activity centers and walkable areas. Some core elements of TND include:

- A range of housing types
- A network of well-connected streets and blocks
- A variety of public spaces such as parks or plazas
- Amenities such as stores, schools and places of worship within walking distance of residences
- Should be implemented at a neighborhood scale

## Goal 3.E Strategically locate and develop industrial areas.

### **Objective 3.E.1. Establish areas sufficient in size and scope for industrial uses and locate so they are protected from incompatible land uses.**

#### *Policies:*

**3.E.1.a.** Review and evaluate applications for industrial developments to ensure conformance with health, safety, and environmental standards.

**3.E.1.b.** Provide adequate space for industrial developments, so they may benefit from economies of scale and proximity to one another.

**3.E.1.c.** Encourage the development of industrial land uses in areas that are not averse to neighboring areas.

**3.E.1.d.** Locate industrial areas within proximity to major utility, road and rail transportation, and future service facilities. Water pressure and water supply in industrial areas should be adequate for fire protection.

**3.E.1.e.** Evaluate infrastructure needs to support expansion of existing industrial uses and development of new industrial areas.

**3.E.1.f.** Evaluate benefits of creating specialized industrial areas such as “innovation centers,” “technology parks” or “economic expansion zones” to encourage rapid investment and business growth in targeted areas. These specialized zones can be enhanced through expedited development approval processes, joint marketing, and small area and strategic plans specific to the site.

**3.E.1.g.** Establish infrastructure plans and provide services to industrial areas to encourage their development.

### **Objective 3.E.2. Encourage industrial development or relocation within Kuna by promoting the Union Pacific Railroad Line.**

#### *Policies:*

**3.E.2.a.** Locate industrial uses along the Union Pacific Railroad Line to facilitate manufacturer’s transportation access to the marketplace from Kuna Mora Road, South Cole Road and Highway 69.

**3.E.2.b.** Promote industrial development that allows for the utilization of the rail line.

**3.E.2.c.** Network with Union Pacific Railroad representatives regarding the availability of future industrial lands and possible expansion of existing industrial uses along the rail line.

## Goal 3.F Identify and manage hazardous areas.

### **Objective 3.F.1. Reduce the risks of damage and injury from natural hazards such as earthquakes, landslides, flooding, and wildland/structure fires.**

#### *Policies:*

**3.F.1.a.** Regulate development, with respect to water diversion, vegetation removal, grading and fills to minimize flooding potential.

**3.F.1.b.** Incorporate safety standards recommended in *Ada County Wildfire Protection Plan*.

**3.F.1.c.** Ensure that developments are designed to reduce the risks of damage and injury from geological hazards.

**3.F.1.d.** Rely upon Federal Emergency Management Agency (FEMA) maps for flood assessment and mitigation purpose.

**3.F.1.e.** Participate in hazard mitigation planning with Ada County.

**3.F.1.f.** Seek FEMA funding for flood mitigation projects to protect surrounding properties and enhance the community.

### **Objective 3.F.2 Establish a public information database to assist identification of hazardous areas or potentially hazardous conditions.**

#### *Policies:*

**3.F.2.a.** Provide flood hazard information to the public.

**3.F.2.b.** Educate homeowners in techniques for protecting their homes from known perils. Require all new homes constructed within the City's wildfire-urban interface area to have sufficient defensible space.

**3.F.2.c.** Work with the Kuna Fire District to establish best practices for farmers, homeowners and businesses in regulating vegetation buildup and disposal in an effort to reduce wildfire risk.

**3.F.2.d.** Communicate with the public in conjunction with Ada County Highway District during heavy snow and rain events.

**3.F.2.e.** Provide public access to Ada County's digital hazardous areas maps.

**3.F.2.f.** Review all hazardous areas maps with proposed developments to ensure appropriate mitigation measures and permitting requirements are met.



## Goal 3.G Respect and protect private property rights.

The protection and consideration of private property rights is mandated at both the federal and state level. Idaho State Code requires that local land use regulations and policies do not adversely impact property values or create unnecessary technical limitations of the use of property and analysis as prescribed under the declarations of purpose established in Chapter 80, Title 67 of Idaho Code.

The City of Kuna Comprehensive Plan was created with the intention of being consistent with state law and protecting private property rights. The plan strives to balance the needs of the community with the private interests of individuals.

### **Objective 3.G.1. Ensure that land use policies, restrictions, and fees do not violate private property rights.**

#### *Policies:*

**3.G.1.a.** Utilize a consistent review process for all proposed actions that may result in private property “takings.”<sup>xxv</sup>

**3.G.1.b.** Ensure that City land use actions, decisions, and regulations will not cause an unconstitutional regulatory takings of private property and do not effectively eliminate all economic value of the subject property.

**3.G.1.c.** Ensure that City land use actions, decisions, and regulations do not prevent a private property owner from taking advantage of a fundamental property right. Ensure City actions do not impose a substantial and significant limitation on the use of the property.

**3.G.1.d.** Work with the City of Kuna attorney on all land use actions, decisions, and regulations that have the potential to meet the criterion of a property taking.

**3.G.1.e.** Ensure that land use regulations are designed in the interest of health, safety and welfare of the community.



## Community Design and Character Implementation

The following table shows specific projects and actions identified during the comprehensive planning process that would help achieve the goals, objectives, and policies identified in this plan. The top projects and actions for this goal area are listed below. For the purposes of the Comprehensive plan, a priority project is any project or action that the city has identified as actionable within the next one to three years and is anticipated to receive resource allocation to help achieve its implementation. These priority projects will help guide short-term implementation of this plan, however if a project is not included on the priority projects list that does not preclude it from short-term implementation or resource allocation.

### Top Community Design and Character Projects and Actions

1. Define “mixed-use” designations in Kuna’s adopted zoning code.
2. Develop a City of Kuna housing needs analysis to address future housing demand, inventory and strategies to increase affordable housing options.
3. Seek funding opportunities to develop specific infrastructure plans (i.e. water, sewer, roads, utilities) to enhance services for existing and new industrial areas and develop.
4. Implement the Downtown Revitalization Plan.
5. Identify and implement mechanisms to preserve and encourage agricultural land uses at small and large scales and create policy that supports agriculture.
6. Consider the creation of an innovation district that supports technology clusters.

*Projects and Actions Table 3* on the following page highlights all of the projects and actions that have been identified to implement the objectives and policies in this goal area and includes the top priority projects listed above. Other health and safety projects and policies that are priorities for the City may not be listed in the table as they are less likely to be actionable implementation items.

### Key Health and Safety Policy Focus Areas:

Core guiding policy areas for objectives, policies and actions related to this goal area include:

1. Land use regulation and support
2. Workforce development
3. Business attraction and retention
4. Economic growth management and anticipation

# Projects and Actions Table 3

## Distinctive and Well Designed

Goals	Potential Projects and Actions
<p><b>3.A Community Design should direct growth and implement sustainable land use patterns.</b></p>	<ul style="list-style-type: none"> <li>• Define “mixed-use” designations in Kuna’s adopted zoning code.</li> <li>• Create and implement design standards to encourage pedestrian-friendly environments and maintain and improve Kuna’s built environment.</li> <li>• Implement overlay districts along designated entryway commercial corridors.</li> <li>• Conduct inventory of developable and/or re-developable lands.</li> <li>• Review and revise Kuna’s Zoning ordinance to reflect the intent of the comprehensive plan and Future Land Use Map</li> <li>• Identify and implement mechanisms to preserve and encourage agricultural land uses at small and large scales and create policy that supports agriculture.</li> </ul>
<p><b>3.B Kuna will preserve and enhance special places within the community.</b></p>	<ul style="list-style-type: none"> <li>• Implement the Downtown Revitalization Plan.</li> <li>• Develop a city-wide wayfinding program that provides signage for vehicles, bicyclists and pedestrians.</li> <li>• Develop a city-wide placemaking plan that identifies strategies and opportunities to activate and transform spaces within the community.</li> <li>• Seek opportunities for assistance and funding in placemaking efforts.</li> <li>• Consider options to accelerate redevelopment of the downtown, including the creation of a Rails to Ales Creekside District. Potentially establish a business improvement district or an urban renewal district.</li> </ul>
<p><b>3.C Encourage development of commercial areas with good connectivity and character.</b></p>	<ul style="list-style-type: none"> <li>• Use overlays to regulate regional commercial center design, access and connectivity, and integration with adjacent land uses.</li> <li>• Consider the creation of an innovation district of technology cluster.</li> </ul>
<p><b>3.D Encourage development of housing choices and strong neighborhoods.</b></p>	<ul style="list-style-type: none"> <li>• Review Kuna’s land use and zoning designations to ensure they allow for and encourage “traditional neighborhood development patterns” in mixed-used areas.</li> <li>• Develop a City of Kuna housing needs analysis to address future housing demand, inventory and strategies to increase affordable housing options.</li> <li>• Evaluate City’s ability to fund and manage a neighborhood investment grant.</li> </ul>

# Projects and Actions Table 3

## Distinctive and Well Designed

<p><b>3.E Strategically locate and develop industrial areas.</b></p>	<ul style="list-style-type: none"> <li>• Seek funding opportunities to develop specific infrastructure plans (i.e. water, sewer, roads, utilities) to enhance services for existing and new industrial areas and develop.</li> <li>• Provide future land use map and plan information to the Union Pacific Railroad.</li> <li>• Keep in contact with existing industrial businesses for potential expansion.</li> </ul>
<p><b>3.F Identify and manage hazardous areas.</b></p>	<ul style="list-style-type: none"> <li>• Work with Ada County to incorporate hazardous areas maps into online interactive map.</li> <li>• Improve communication channels with the public in conjunction with Ada County Highway District to share information related to heavy snow, possible flooding and storm events.</li> <li>• Seek grant funding opportunities through the Bureau of Homeland Security and FEMA for hazard mitigation projects.</li> <li>• Share evacuation and emergency preparedness information with the public.</li> </ul>
<p><b>3.G Respect and protect private property rights</b></p>	<ul style="list-style-type: none"> <li>• Develop and implement a consistent takings review process that is transparent and easily accessible to all interested parties.</li> </ul>